



**Hobbs & Webb**

**LOCKING ROAD**  
Weston-super-Mare, BS23 3ER

Price £250,000



\*\*\* Cash Buyers Only \*\*\*

A substantial semi detached Victorian style property on the level within walking distance of the town centre sea front and train station. The property which has no forward chain offers well laid out good size accommodation and although having Upvc double glazing will benefit from modernisation. The property could be converted into 2 flats subject to the necessary planning and building regulations although as a family house it can be arranged as lounge, dining room, sitting room, kitchen, cloak room and pantry, to the first floor 4 bedrooms, bathroom and separate toilet. Outside front garden, shared pedestrian access to level enclosed rear garden.

As previously stated the property will benefit from improvement and due to some minor visible cracking there is a structural report available for a serious potential purchasers perusal.

### Local Authority

North Somerset Council Tax Band: D

Tenure: Freehold

EPC Rating: F

Energy Efficiency Rating	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>	<b>35</b>	
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
England & Wales		
EU Directive 2002/91/EC		

TO ARRANGE A VIEWING OR FOR FURTHER INFORMATION ON THIS PROPERTY PLEASE CONTACT OUR SALES TEAM

**01934 644664**

[info@hobbsandwebb.co.uk](mailto:info@hobbsandwebb.co.uk)



# PROPERTY DESCRIPTION

Composite double glazed front door and Upvc double glazed top light to.

## Entrance Porch

5'6" x 4'5" (1.68m x 1.35m)

Coved ceiling, inner half stain glazed timber door with matching top lights and side panels to.

## Entrance Hall

Coved ceiling, night storage heater, under stair storage cupboard.

## Lounge

17'1" into bay x 13'5" into recess's (5.21m into bay x 4.09m into recess's)

Ornate ceiling rose, coved ceiling, picture rail, Upvc double glazed south facing window to front. Chimney breast with fireplace with tiled mantle, hearth and surround.

## Dining Room

13'0" x 11'3" recess's (3.96m x 3.43m recess's)

Coved ceiling, Upvc double glazed window to rear, chimney breast.

## Sitting room / breakfast room

12'2" x 11'4" into recess's (3.71m x 3.45m into recess's)

Upvc double glazed window to side, chimney breast with gas fire with tiled surround and hearth, 2 recess's one with shelving and the other with base cupboards and drawers, telephone point.

## Kitchen

10'7" x 9'5" plus recess (3.23m x 2.87m plus recess)

Upvc double glazed window to side and Upvc double glazed back door to rear garden, single and double wall cupboards, single bowl single drainer sink with base cupboard under further base cupboards and drawers, chimney breast with surround and recess. Doors to walk in pantry 6'11" x 4'6" (2.11m x 1.37m) window to rear. Storage room 7'0" x 3'11" (2.13m x 1.19m) Single glazed window to rear and giving access to.

## Cloakroom

Single glazed window to rear Low level W.C.

From entrance hall staircase to half landing with Upvc duple glazed high level window, stairs up to.

## Top landing

With access to.

## Bedroom 1

16'11" bay x 11'6" recess's (5.16m bay x 3.51m recess's)

Upvc double glazed south facing bay window to front, chimney breast with currently boarded over fire place with cast iron surround.

## Bedroom 2

12'11" x 11'5" recess's (3.94m x 3.48m recess's)

Upvc double glazed window to rear, chimney breast with fire place with cast iron surround.

# PROPERTY DESCRIPTION

## Bedroom 4

9'1" x 6'4" to 5'7" chimney breast (2.77m x 1.93m to 1.70m chimney breast)

Upvc double glazed window front, chimney breast with fire place with cast iron surround.

Half landing with stairs to rear lower landing with 2 useful storage cupboards.

## Separate Toilet

Upvc double glazed window to side, low level W.C.

## Bathroom

Loft access to rear roof, Upvc double glazed window to side, electric heated towel rail, bath with electric shower over, pedestal wash hand basin, built in storage cupboard, wall mounted gas fired boiler providing hot water only., tiled walls to bath area.

## Bedroom 3

11'10" x 11'6" recess's (3.61m x 3.51m recess's)

Upvc double glazed window to side, chimney breast

## Outside

Front garden enclosed by local stone walling, pathway with level lawn and flower shrub borders. To the east side of the property shared pedestrian access leading via timber gate to the rear garden again enclosed by local stone walling and timber fencing, laid to concrete seating area, with brick built store, pond, level lawn with flower and shrub beds and borders.

## Tenure

Freehold

## Material Information.

As previously stated the property will benefit from improvement and due to some minor visible cracking there is a structural report available for a serious potential purchasers perusal.

For an indication of specific speeds and supply or coverage in the area, we recommend potential buyers to use the

Ofcom checkers below:

[checker.ofcom.org.uk/en-gb/mobile-coverage](http://checker.ofcom.org.uk/en-gb/mobile-coverage)

[checker.ofcom.org.uk/en-gb/broadband-coverage](http://checker.ofcom.org.uk/en-gb/broadband-coverage)

Flood Information:

[flood-map-for-planning.service.gov.uk/location](http://flood-map-for-planning.service.gov.uk/location)









For Illustrative Purposes Only:- all measurements, walls, doors, windows, fittings and appliances, their sizes and locations are shown conventionally and are approximate only and cannot be regarded as being a representation either by the Seller or his Agent. Copyright - Mayfair Town & Country Plan produced using PlanUp.

# Hobbs & Webb

01934 644664

Open 7 days a week

From - Fri 8am - 6pm Sat 9am - 4pm

Sun 10.30am - 2.30pm



## IMPORTANT NOTICE

We would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. If there are any important matters likely to effect your decision to buy, please contact us before viewing the property.

1. Survey - A detailed survey has not been carried out, nor the services, appliances and fittings tested.
2. Floor plans - All measurements wall, doors, windows, fittings and appliances, their sizes and locations are shown conventionally and are approximate and cannot be regarded as being representation either by the seller or his Agent. Room sizes should not be relied upon for furnishing purposes and are approximate.