



**Hobbs & Webb**

**SOUTHSIDE**  
Weston-super-Mare, BS23 2QU

Price £175,000





A self contained top floor flat affording panoramic views over Weston town to Uphill hill and church, Weston bay, Brean Down and beyond. Set within an older style detached building, the property has its own entrance via outside staircase, is located just off of the level within easy walking distance of the town centre and sea front of Weston-super-Mare. Enjoying Upvc double glazing and electric heating with the added benefit of having a garage and enjoying good sized rooms arranged as entrance / dining hall, southerly and westerly facing lounge measuring 17'2" x 15'4", kitchen / diner, 2 double bedrooms and large shower room., no forward chain.

### Local Authority

North Somerset Council Tax Band: B

Tenure: Leasehold

EPC Rating: D

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs	(92 plus) <b>A</b>		
	(81-91) <b>B</b>		
	(69-80) <b>C</b>		
	(55-68) <b>D</b>	59	73
	(39-54) <b>E</b>		
	(21-38) <b>F</b>		
Not energy efficient - higher running costs	(1-20) <b>G</b>		
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	

TO ARRANGE A VIEWING OR FOR FURTHER INFORMATION ON THIS PROPERTY PLEASE CONTACT OUR SALES TEAM

**01934 644664**

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# PROPERTY DESCRIPTION

Outside stair case leading to outside entrance area, composite door to.

## Dining Hall

10'10" x 9'5" (3.30m x 2.87m)

Coved ceiling, modern electric heater, telephone point, doors to all rooms.

## Lounge

17'2 x 15'4" (5.23m x 4.67m)

A dual aspect room with southerly and westerly facing Upvc double glazed tilt and turn windows affording panoramic views over the town to Bleadon Hill, Uphill hill and church, Weston bay, Brean Down and beyond., coved ceiling, modern electric heater T.V point.

## Kitchen / diner

11'1" x 10'9" (3.38m x 3.28m)

Loft access, fluorescent strip light, Upvc double glazed westerly facing window with views to the town, bay, Brean Down and beyond. Modern electric wall heater, fitted with range of double, single and corner display wall units, over cooker unit, single bowl and sink tidy single drainer sink sink with mixer tap over double cupboard under, further double and single base cupboards triple base drawers, roll edge work tops, tiled surrounds, 4 ring electric hob with extractor hood and light over, integrated electric cooker, plumbing for washing machine, timber effect flooring.

## Bedroom 1

15'1" into wardrobes x 13'11" into upvc double gla (4.60m into wardrobes x 4.24m into upvc double glaz)

Coved ceiling, modern electric wall heater, 2 double and 2 single built in wardrobes with over head double storage cupboards dressing table with chest of drawers, westerly and southerly views to the town, bay, Brean Down and beyond.

## Bedroom 2

14'10" x 10'6" (4.52m x 3.20m)

Part sloping ceiling, modern electric wall heater, westerly facing Upvc double glazed window with views to the town, bay, Brean Down and beyond.

## Shower Room

11'10" x 11'9" overall measurement (3.61m x 3.58m overall measurement)

Loft access, 2 Upvc double glazed windows, fitted with tiled double shower cubicle with sliding screen and electric shower, low level W.C., pedestal wash hand basin, electric chrome heated towel rail and electric wall heater, 2 double and single storage cupboards with work top over as well as part shelved airing cupboard housing hot water tank with immersion providing hot water, timber effect flooring.

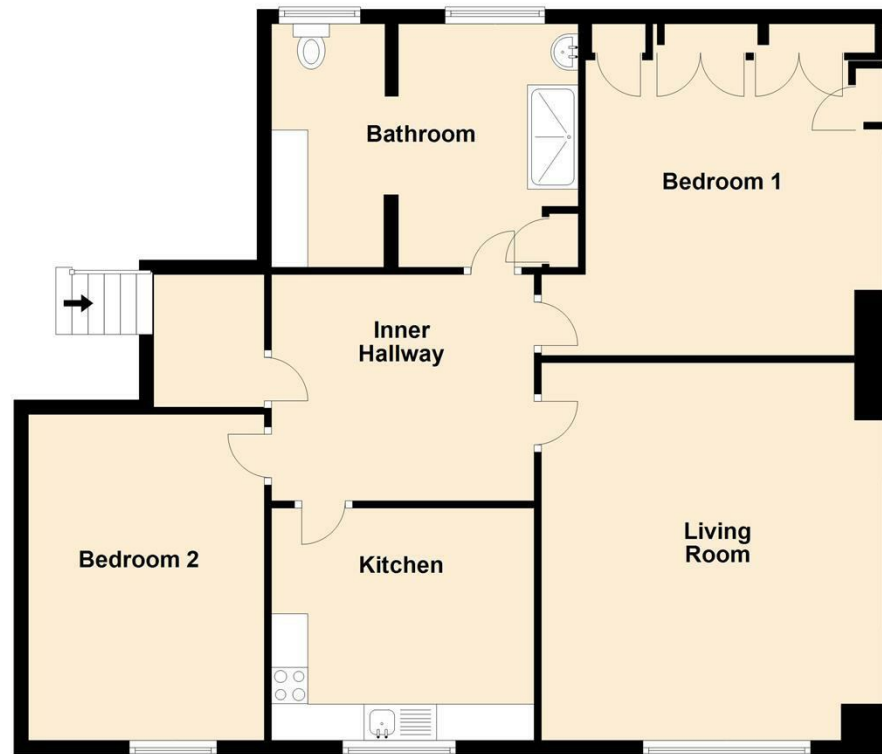
## Garage

17'2" x 8'3" to 7'10" to pier (5.23m x 2.51m to 2.39m to pier)

With up and over door.

Maintenance to be confirmed but believed to be a quarter share of work as and when required, lease residue of 999 years approximately 982 years remaining.

### Ground Floor



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# Hobbs & Webb

## 01934 644664

Open 7 days a week

From - Fri 8am - 6pm Sat 9am - 4pm

Sun 10.30am - 2.30pm



### IMPORTANT NOTICE

We would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. If there are any important matters likely to effect your decision to buy, please contact us before viewing the property.

1. Survey - A detailed survey has not been carried out, nor the services, appliances and fittings tested.

2. Floor plans - All measurements wall, doors, windows, fittings and appliances, their sizes and locations are shown conventionally and are approximate and cannot be regarded as being representation either by the seller or his Agent. Room sizes should not be relied upon for furnishing purposes and are approximate.